

K.C.W.

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

December 4, 2019

To: Hamilton County Drainage Board

Re: William Lehr Drain, Joseph & Brooks Arm and LN Joseph Arm, Brooks Farm Section 1
Reconstruction.

Attached are plans for the proposed reconstruction of the William Lehr Drain, Joseph & Brooks Arm and LN Joseph Arm. The proposal is to reconstruct the existing tile drain currently on parcel 10-11-09-00-00-012.003 (proposed Brooks Farm subdivision site) owned by Brooks Farm Development, LLC, per the 'Brooks Farm, Sec. 1' project plans by Stoepelwerth & Associates, Job No. 7522GBCS1, dated revised 8/27/19. The upstream end of this reconstruction will begin along the proposed north right-of-way line of 156th Street. The downstream end of this reconstruction will end near the west right-of-way line of Summer Road, which was previously reconstructed in 2015 as part of the Noble East and Flagstone Relocation.

This project will consist of the following:

2,095' of open drain 113' of 6'x 8' Box Culvert

The 113' of Box Culvert noted above consists of the culvert pipe under proposed Brooks Farm Blvd.

The newly installed drain will have a length of 2,208'. On the Joseph & Brooks Arm, the existing 2,075' of tile drain between existing stations 68+30 and 89+05 will be removed and vacated. This proposal will add 133' of additional footage to the drain's total length. Sta. 68+30 is located at the proposed north right-of-way line of 156th street. The proposed right-of-way line is shown on the plans as 50' north of the centerline of 156th street. Station 89+05 is where the arm drains to manhole 710 which was installed by the 2015 Noble East & Flagstone Relocation.

The LN Joseph Arm runs parallel to the Joseph & Brooks Arm for much of the site before merging at a box structure. The existing 1,518' of existing LN Joseph Arm tile between existing station 78+51 and 93+69 will be removed and vacated. Sta. 78+51 is located at the proposed north right-of-

way line of 156th street. The proposed right-of-way line is shown as 50' north of the centerline of 156th street. Station 93+69 is the existing point of confluence, which is at a catch basin (at a Station 83+55 on the Joseph & Brooks Arm).

The Eli Brooks Drain was established in 1893 (See Reviewers Report, December 7, 1893) and combined with the William Lehr Drain, Booth-White and Joseph Drains in 1967. The drains are currently on a maintenance program which was approved at hearing on December 4, 1967 (See Minutes Book 1, Page 23). For information regarding the 2015 Nobles East & Flagstone Relocation referenced above, see Minutes Book 16, Page 306-307 and 543-544.

The cost of the project is to be paid by the developer. Surety has been posted in the form of a performance bond as follows:

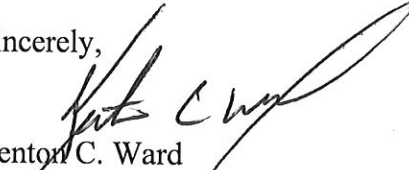
Agent: Great American Insurance Company
Date: October 11, 2019
Number: 3085889
For: Brooks Farm, Sec. 1 – Lehr Ditch Reconstruction
Amount: \$224,558.51
HCDB-2019-00043

A portion of this project site is located within the William Lehr, Joseph & Brooks Arm Summer Road deferred assessment area. Parcel 10-11-09-00-00-012.003 owes \$40,828.76 for 51.80 acres. Because the site is being developed, the assessment is to be paid at this time and should be made a condition of this approval.

The easement for the drain in this location shall be as shown in Common Area #1-1 and #2-1 as shown on the Brooks Farm Section 1 Secondary Plat. The common areas are also drainage and utility easements (D & U.E.) The detention ponds (shown as Lakes 1, 3, and 4) shall be a minimum of 30' as measured at right angles from each top of bank of the open ditch to the top of the bank of the detention pond. Also, lot lines shall be a minimum of 15 feet from the top of bank. An additional 15' drainage easement shall be located on those lots adjacent to the open ditch. These lots are numbers 57 to 67. A non-enforcement has been submitted. I recommend approval of the non-enforcement.

I believe this petition fulfills the requirements set out in IC 36-9-27-52.5. Therefore, a public hearing without the 30-day remonstrance period is allowed per statute. I recommend approval.

Sincerely,



Kenton C. Ward
Hamilton County Surveyor

KCW/pll

HAMILTON COUNTY DRAINAGE BOARD
NOBLESVILLE, INDIANA

FILED

SEP 12 2019

IN RE: Brooks Farm, Section 1)
Hamilton County, Indiana)

OFFICE OF HAMILTON COUNTY SURVEYOR

PETITION FOR RELOCATION AND RECONSTRUCTION

Gradison Land Development, Inc. (hereinafter "Petitioner"),

hereby petitions the Hamilton County Drainage Board for authority to relocate and improve a section of the William Lehr Drain Drain, and in support of said petition advises the Board that:

1. Petitioner owns real estate through which a portion of the William Lehr Drain runs.
2. Petitioner plans to develop its real estate with roads, buildings, utilities, storm drains, sanitary sewers and other structures.
3. Petitioner's proposed development of its real estate will require relocation and reconstruction of a portion of the William Lehr Drain, as specifically shown on engineering plans and specifications filed with the Hamilton County Surveyor.
4. The work necessary for the proposed relocation and reconstruction will be undertaken at the sole expense of the Petitioner and such work will result in substantial improvement to the William Lehr Drain, without cost to other property owners on the watershed of the William Lehr Drain.

WHEREFORE, Petitioner requests that an Order issued from the Hamilton County Drainage Board authorizing relocation and reconstruction of the William Lehr Drain, in conformance with applicable law and plans and specifications on file with the Hamilton County Surveyor.



Signed

Mark Gradison

Printed

FINDINGS AND ORDER

CONCERNING THE PARTIAL VACATION OF THE

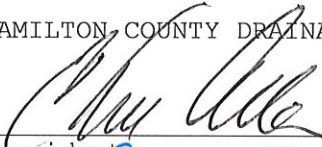
William Lehr Drain, Joseph & Brooks Arm and LN Joseph Arm
Brooks Farm Section 1 Reconstruction

Station 68+30 to Station 89+05 (Joseph & Brooks Arm
&
Station 78+51 to Station 93+69 (LN Joseph Arm)

On this 19th day of December, 2019, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the William Lehr Drain, Joseph & Brooks Arm and LN Joseph Arm, Brooks Farm Section 1 Reconstruction (Station 68+30 to Station 89+05 of the Joseph & Brooks Arm and Station 78+51 to Station 93+69 of the LN Joseph Arm).

Evidence has been heard. Objections were presented and considered. The Board then adopted an order of action. The Board now finds that the costs of continued maintenance to the portion of the above drain exceed the benefits to the real estate benefited by the portion of the drain to be abandoned and issues this order vacating the above section of the William Lehr Drain, Joseph & Brooks Arm and LN Joseph Arm, Brooks Farm Section 1 Reconstruction (Station 68+30 to Station 89+05 of the Joseph & Brooks Arm and Station 78+51 to Station 93+69 of the LN Joseph Arm).

HAMILTON COUNTY DRAINAGE BOARD



President



Member

Member

Attest:



STATE OF INDIANA)
) ss:
COUNTY OF HAMILTON)

BEFORE THE HAMILTON COUNTY
DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN THE MATTER OF THE
RECONSTRUCTION OF THE
**William Lehr Drain, Joseph & Brooks Arm and LN Joseph Arm, Brooks Farm
Section 1 Reconstruction**

FINDINGS AND ORDER FOR RECONSTRUCTION

The matter of the proposed Reconstruction of the **William Lehr Drain, Joseph & Brooks Arm and LN Joseph Arm, Brooks Farm Section 1 Reconstruction** came before the Hamilton County Drainage Board for hearing **on December 19, 2019**, on the Reconstruction Report consisting of the report and the Schedule of Damages and Assessments. The Board also received and considered the written objection of an owner of certain lands affected by the proposed Reconstruction, said owner being:

Evidence was heard on the Reconstruction Report and on the aforementioned objections.

The Board, having considered the evidence and objections, and, upon motion duly made, seconded and unanimously carried, did find and determine that the costs, damages and expenses of the proposed Reconstruction will be less than the benefits accruing to the owners of all land benefited by the Reconstruction.


The Board having considered the evidence and objections, upon motion duly made, seconded and unanimously carried, did adopt the Schedule of Assessments as proposed, subject to amendment after inspection of the subject drain as it relates to the lands of any owners which may have been erroneously included or omitted from the Schedule of Assessments.

The Board further finds that it has jurisdiction of these proceedings and that all required notices have been duly given or published as required by law.

Wherefore, it is ORDERED, that the proposed Reconstruction of the **William Lehr Drain, Joseph & Brooks Arm and LN Joseph Arm, Brooks Farm Section 1 Reconstruction** be and is hereby declared established.

Thereafter, the Board made inspection for the purpose of determining whether or not the lands of any owners had been erroneously included or excluded from the Schedule of Assessments. The Board finds on the basis of the reports and findings at this hearing as follows:

HAMILTON COUNTY DRAINAGE BOARD


PRESIDENT


Member

Member

ATTEST:


Executive Secretary



STOEPPELWERTH

ALWAYS ON

ofc: 317.849.5935
fax: 317.849.5942

7965 East 106th Street
Fishers, IN 46038-2505
www.stoepelwerth.com

October 9,2019

Steve Cash
One Hamilton County Square
Suite 188
Noblesville, Indiana 46060

Re: Brooks Farm, Section 1
Lehr Ditch Reconstruction
Revised Engineer's Estimate

Dear Mr. Cash;

On behalf of the developer Brooks Farm Development, LLC, enclosed please find a revised Engineer's Estimate (opinions of cost representing our best judgement and not a guarantee of actual construction costs) for Brooks Farm, Section 1 Lehr Ditch Reconstruction. The estimate is as follows:

BROOKS FARM ENGINEER'S ESTIMATE LEHR DITCH RECONSTRUCTION

	QTY		UNIT PRICE	TOTAL	120% Perf. Amount
Erosion Control					
Silt Fence: Supply and install. Perimeter	4,400	LF	\$1.08	\$4,752.00	
Ditch:Finish,hydroseed,e-c blankets	100,800	SF	\$0.17	\$17,136.00	
Subtotal				\$21,888.00	\$ 26,265.60
Lehr Legal Drain Earthwork Excavation					
Excavation	13,875	CYS	\$3.40	\$47,175.00	
Finish Grade	12711	SYS	\$0.19	\$2,415.09	
Subtotal				\$49,590.09	\$ 59,508.11
156th St. Box Culvert Extension					
24" x 48" Box Culvert Extension	39	LF	\$225.00	\$8,775.00	
Drop Structure	1	EA	\$4,300.00	\$4,300.00	

LAND DEVELOPMENT SUPPORT SOLUTIONS

ENGINEERING | SURVEYING

Hamilton County Surveyor
 Steve Cash
 October 9, 2019
 Page 2 of 2

Riprap	100	TONS	\$85.00	\$8,500.00	
Headwall	1	LSUM	\$15,000.00	\$15,000.00	
Subtotal				\$36,575.00	\$ 43,890.00
Brooks Farm Blvd. Legal Drain					
6' x 8' Box Culvert	113	LF	\$483.00	\$54,579.00	
Labor for Install and Head Walls				\$24,500.00	
Subtotal				\$79,079.00	\$ 94,894.80
Total				\$187,132.09	\$224,558.51

If you have any questions regarding these estimates, please contact Brian K. Robinson at (317) 570-4763.

Very truly yours,
 STOEPPELWERTH & ASSOCIATES, INC.

David J. Stoepfelwerth

David J. Stoepfelwerth, P.E.
 Professional Engineer
 No. 19358



Cc: Mark Gradison
 Tim Barr

BKR/meb
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COPY

FILED

OCT 14 2019

**SUBDIVISION IMPROVEMENTS
PERFORMANCE BOND**

BOND NO. 3085889

OFFICE OF HAMILTON COUNTY SURVEYOR

KNOW ALL MEN BY THESE PRESENTS:

HCD3-2019-00043

THAT we, Brooks Farm Development, LLC, as Principal and primary obligor, and Great American Insurance Company, a corporation organized and doing business and under and by virtue for the laws of the State of Ohio and duly licensed to conduct surety business in the State of Ohio, as Surety and secondary obligor, are held and firmly bound unto

Hamilton County Commissioners, 1 N 8th St # 157, Noblesville, IN 46060

as Obligee, in the sum of Two Hundred Twenty-Four Thousand Five Hundred Fifty-Eight and 51/100 (\$224,558.51) Dollars, for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

WHEREAS, the above named Principal has agreed to construct in Brooks Farm Section 1, in Noblesville, Indiana, the following improvements: Brooks Farm Section 1 - Lehr Ditch Reconstruction.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety, upon receipt of a resolution of the Obligee indicating that the improvements have not been installed or completed, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements. If the Principal fails to effect one of the foregoing cures within 30 days of the Obligee providing written notice to Principal declaring Principal in default then, thereafter, Surety shall have 30 days to evaluate the same. In no event shall Surety's liability exceed the penal sum of the Bond set forth above.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed.

IN WITNESS WHEREOF, the seal and signature of said Principal is hereto affixed and the corporate seal and the name of the said Surety is hereto affixed and attested by its duly authorized Attorney-in-Fact, this 11th day of October, 2019.

Brooks Farm Development, LLC
Principal

BY: Matt D. G. C., MANAGER
Name & Title

BY: Brenda Johnston
Great American Insurance Company
Brenda Johnston Attorney-in-Fact

FILED

OCT 14 2019

OFFICE OF HAMILTON COUNTY SURVEYOR

GREAT AMERICAN INSURANCE COMPANY®

Administrative Office: 301 E 4TH STREET • CINCINNATI, OHIO 45202 • 513-369-5000 • FAX 513-723-2740

The number of persons authorized by this power of attorney is not more than **TEN**

No. 0 20585

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That the GREAT AMERICAN INSURANCE COMPANY, a corporation organized and existing under and by virtue of the laws of the State of Ohio, does hereby nominate, constitute and appoint the person or persons named below, each individually if more than one is named, its true and lawful attorney-in-fact, for it and in its name, place and stead to execute on behalf of the said Company, as surety, any and all bonds, undertakings and contracts of suretyship, or other written obligations in the nature thereof; provided that the liability of the said Company on any such bond, undertaking or contract of suretyship executed under this authority shall not exceed the limit stated below.

Name	Address	Limit of Power	
NICOLE MCKINNEY	CYNTHIA L. JENKINS	KIMBERLY E. KINKEAD	ALL
MICHAEL H. BILL	GINGER J. KRAHN	REBECCA A. VIRT	\$100,000,000
EDWARD L. MOURINGHAN	SHEREE HSIEH		
BRENDA JOHNSTON	LAURAN REYNOLDS	ALL OF INDIANAPOLIS, INDIANA	

This Power of Attorney revokes all previous powers issued on behalf of the attorney(s)-in-fact named above. IN WITNESS WHEREOF the GREAT AMERICAN INSURANCE COMPANY has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 24TH day of NOVEMBER 2014



Steph L. C. B.
Assistant Secretary

David C. Kitchin
Divisional Senior Vice President

DAVID C. KITCHIN (877-377-2405)

STATE OF OHIO, COUNTY OF HAMILTON - ss:

On this 24TH day of NOVEMBER, 2014, before me personally appeared DAVID C. KITCHIN, to me known, being duly sworn, deposes and says that he resides in Cincinnati, Ohio, that he is a Divisional Senior Vice President of the Bond Division of Great American Insurance Company, the Company described in and which executed the above instrument; that he knows the seal of the said Company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed by authority of his office under the By-Laws of said Company, and that he signed his name thereto by like authority:



Shelle Clontz
Notary Public, State of Ohio
My Commission Expires 08-08-2015

Shelle Clontz

This Power of Attorney is granted by authority of the following resolutions adopted by the Board of Directors of Great American Insurance Company by unanimous written consent dated June 9, 2008.

RESOLVED: That the Divisional President, the several Divisional Senior Vice Presidents, Divisional Vice Presidents and Divisional Assistant Vice Presidents, or any one of them, be and hereby is authorized, from time to time, to appoint one or more Attorneys-in-Fact to execute on behalf of the Company, as surety, any and all bonds, undertakings and contracts of suretyship, or other written obligations in the nature thereof; to prescribe their respective duties and the respective limits of their authority; and to revoke any such appointment at any time.

RESOLVED FURTHER: That the Company seal and the signature of any of the aforesaid officers and any Secretary or Assistant Secretary of the Company may be affixed by facsimile to any power of attorney or certificate of either given for the execution of any bond, undertaking, contract of suretyship, or other written obligation in the nature thereof, such signature and seal when so used being hereby adopted by the Company as the original signature of such officer and the original seal of the Company, to be valid and binding upon the Company with the same force and effect as though manually affixed.

CERTIFICATION

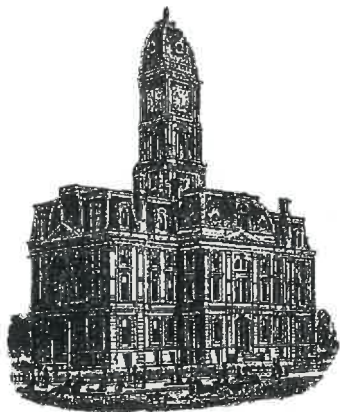
I, STEPHEN C. BERHA, Assistant Secretary of Great American Insurance Company, do hereby certify that the foregoing Power of Attorney and the Resolutions of the Board of Directors of June 9, 2008 have not been revoked and are now in full force and effect.

Signed and sealed this 11th day of October, 2019



Steph L. C. B.
Assistant Secretary

KLW



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

November 7, 2023

Re: William Lehr Drain: Joseph & Brooks Arm – Brooks Farm Section 1 Reconstruction

Attached are as-built, certificate of completion & compliance, and other information for Brooks Farm Section 1 Reconstruction. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

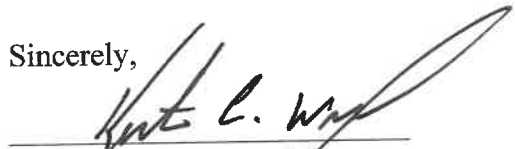
During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated December 4, 2019. The report was approved by the Board at the hearing held December 19, 2019. (See Drainage Board Minutes Book 19, Pages 86-88) The changes are as follows: the open ditch was shortened from 2,095 feet to 2,087 feet. The length of the drain due to the changes described above is now **2200 feet**.

The non-enforcement was approved by the Board at its meeting on December 19, 2019 and recorded under instrument #2022053302. The following sureties were guaranteed by Great American Insurance Company and released by the Board on its November 14, 2022, meeting.

Bond-LC No:3085889
Amount: \$224,558.51
For: Storm Sewers & SSD
Issue Date: October 11, 2019

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,


Kenton C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Brooks Farm, Section 1

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature:  Date: 1/28/2021

Type or Print Name: Dennis D. Olmstead

Business Address: Stoepelwerth & Associates, Inc.
7965 East 106th Street, Fishers, Indiana 46038

Telephone Number: (317) 849-5935

SEAL

INDIANA REGISTRATION NUMBER

900012



Brooks Farm

SECTION 1 R1/PUD Zoning

Developed by:
Brooks Farm Development, LLC
6330 East 75th Street, Suite 156
Indianapolis, Indiana 46250
Phone: (317) 594-7575
Contact Person: Mark Gradison

PIPE	DEPTH	NUMBER
TYPE "A"	8" - 10"	2
TYPE "A"	10" - 12"	3
TYPE "A"	12" - 14"	7
TYPE "A"	14" - 16"	12
TYPE "A"	16" - 18"	6
TOTAL		30

PIPE	DEPTH	LENGTH
8" PVC SDR 35	8" - 10"	372 L.F.
8" PVC SDR 35	10" - 12"	1,023 L.F.
8" PVC SDR 26	12" - 14"	1,957 L.F.
8" PVC SDR 26	14" - 16"	951 L.F.
10" PVC SDR 26	12" - 14"	344 L.F.
10" PVC SDR 26	14" - 16"	940 L.F.
TOTAL		5,587 L.F.

RECORD DRAWING

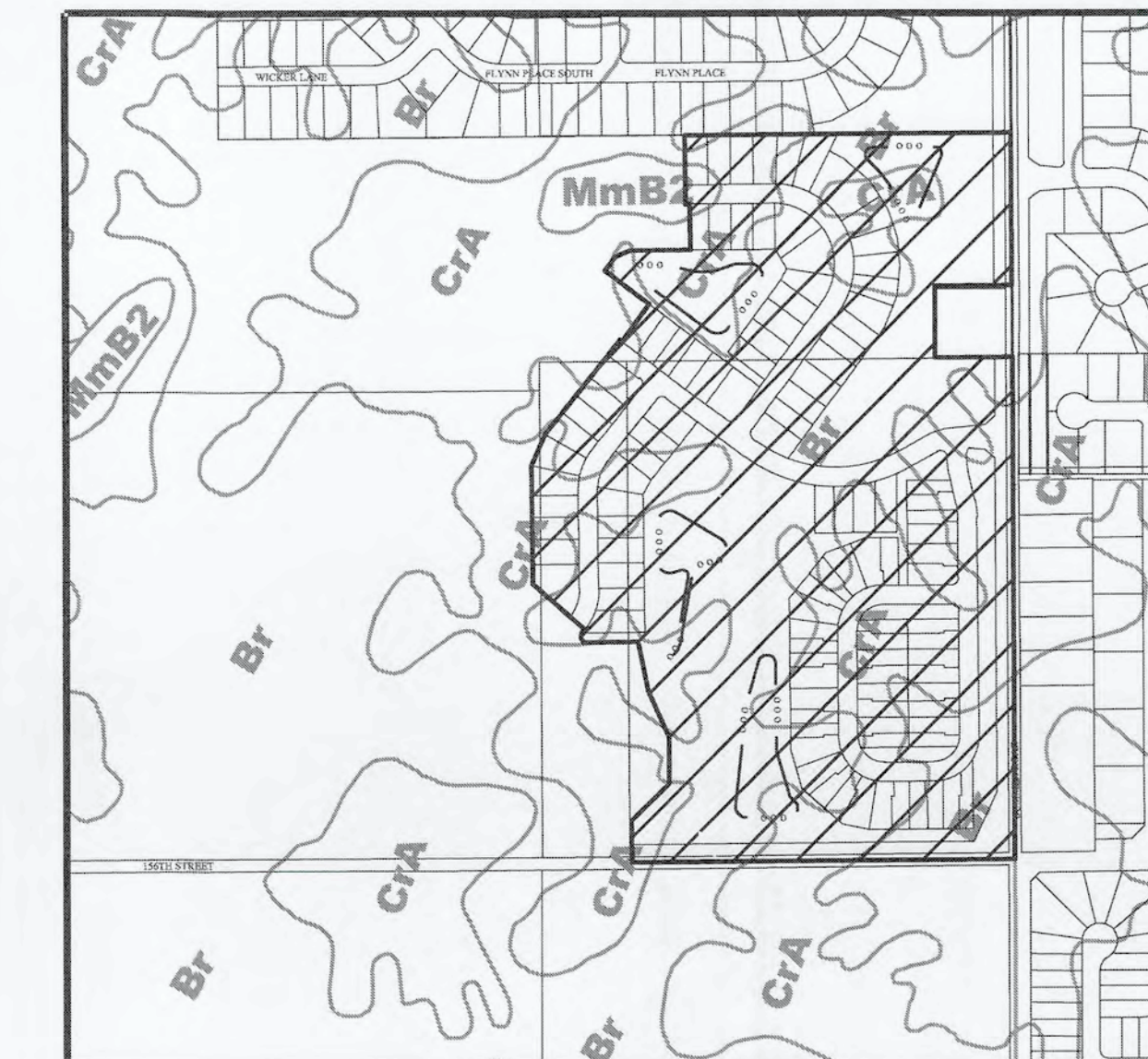
Dennis D. Olmstead
Registered Land Surveyor
No. 900012
12/21/2020



PIPE	DEPTH	LENGTH
12" RCP Type 3	2'-4"	255 L.F.
12" RCP Type 3	4'-6"	566 L.F.
15" RCP Type 3	2'-4"	584 L.F.
15" RCP Type 3	4'-6"	1,372 L.F.
15" RCP Type 3	6'-8"	401 L.F.
15" RCP Type 3	8'-10"	11 L.F.
18" RCP Type 3	4'-6"	536 L.F.
18" RCP Type 3	6'-8"	65 L.F.
21" RCP Type 3	4'-6"	207 L.F.
21" RCP Type 3	6'-8"	554 L.F.
24" RCP Type 3	4'-6"	665 L.F.
24" RCP Type 3	6'-8"	126 L.F.
27" RCP Type 3	4'-6"	548 L.F.
30" RCP Type 3	6'-8"	523 L.F.
36" RCP Type 3	8'-10"	334 L.F.
42" RCP Type 3	8'-10"	404 L.F.
TOTAL		7,151 L.F.

INLET	DEPTH	NUMBER
INLET, TYPE "A"	2'-4"	2
INLET, TYPE "A"	4'-6"	1
INLET, TYPE "B"	2'-4"	5
INLET, TYPE "B"	4'-6"	5
INLET, TYPE "B"	6'-8"	18
INLET, TYPE "E" INDOT	2'-4"	6
INLET, TYPE "E" INDOT	6'-8"	2
MH, TYPE "C" 48"	4'-6"	10
MH, TYPE "C" 48"	6'-8"	5
MH, TYPE "C" 48"	8'-10"	2
MH, TYPE "J" 60"	4'-6"	2
MH, TYPE "J" 60"	6'-8"	4
MH, TYPE "K" 72"	4'-6"	1
MH, TYPE "K" 72"	6'-8"	4
MH, TYPE "K" 72"	8'-10"	2
MH, TYPE "L" 96"	4'-6"	1
MH, TYPE "L" 96"	6'-8"	1
END SECTION		12
CONTECH BMP	10" - 12"	1
CONTECH BMP	12" - 14"	2
CONTECH BMP	14" - 16"	1
CONTECH BMP	16" - 18"	2
TOTAL		92

PIPE	DEPTH	LENGTH
6" HDPE Type SSD	2'-4"	8,846 L.F.
TOTAL		8,846 L.F.

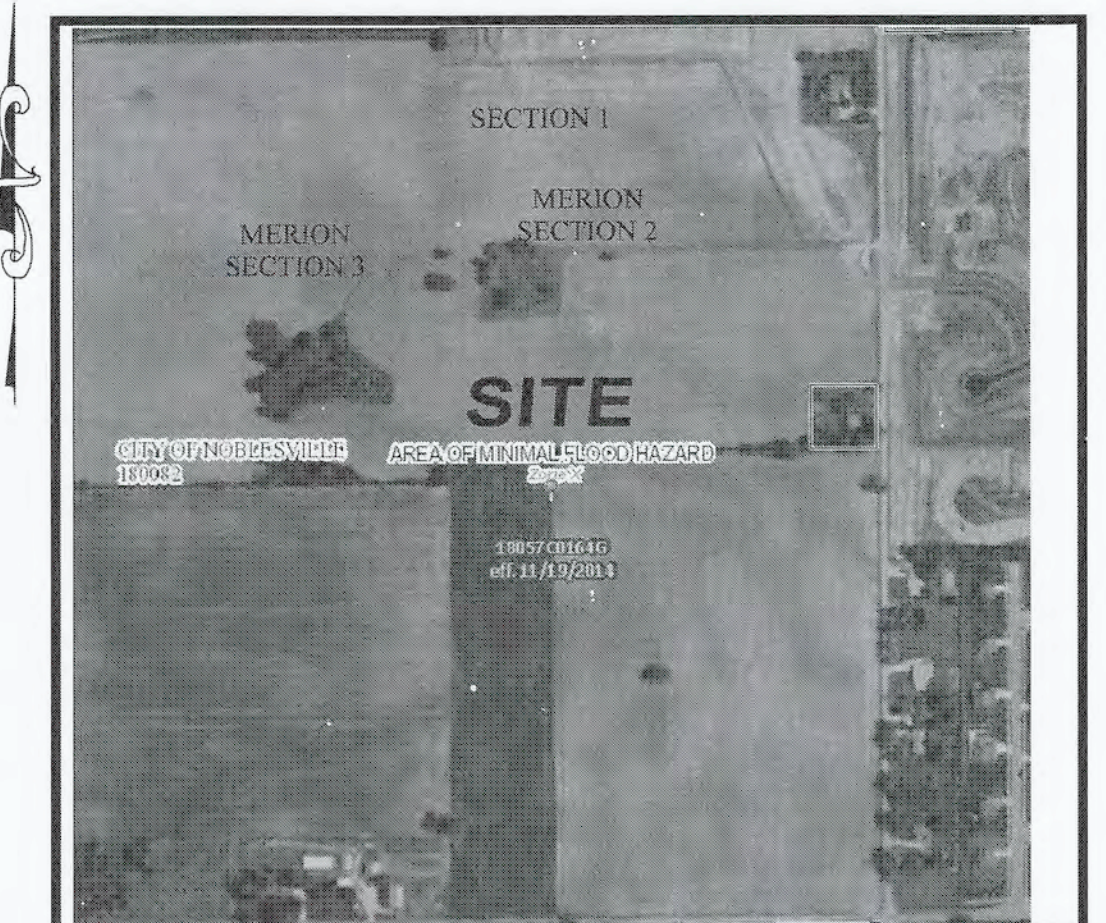


SOILS MAP
SCALE: 1" = 500'

Map Unit: Br - Brookston silt clay loam
This poorly drained soil has a seasonal high water table at 0.5 to 2.0 ft. and is on rises on uplands. Slopes are 0 to 2 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low organic matter content (1.0 to 3.0 percent). Permeability is very slow (<0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is moderate (6.2 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and wetness are management concerns for crop production. This soil responds well to tile drainage.

Map Unit: C1A - Crosby silt loam, 0 to 2 percent slopes
This is a somewhat poorly drained soil and has a seasonal high water table at 0.5 to 2.0 ft. and is on rises on uplands. Slopes are 0 to 2 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low organic matter content (1.0 to 3.0 percent). Permeability is very slow (<0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is moderate (6.2 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and wetness are management concerns for crop production. This soil responds well to tile drainage.

Map Unit: MmB2 - Moderately well drained soil, 2 to 6 percent slopes, eroded
This moderately well drained soil has a seasonal high water table at 2.0 to 3.5 ft. and is on side slopes and rises on uplands. Slopes are 2 to 6 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low organic matter content (1.0 to 2.0 percent). Permeability is very slow (<0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is low (5.9 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and wetness are management concerns for crop production.



FLOOD STATEMENT
THIS SITE DOES NOT LIE WITHIN A ZONE PER
FIRM 18057CV0164G DATED NOV. 19, 2014

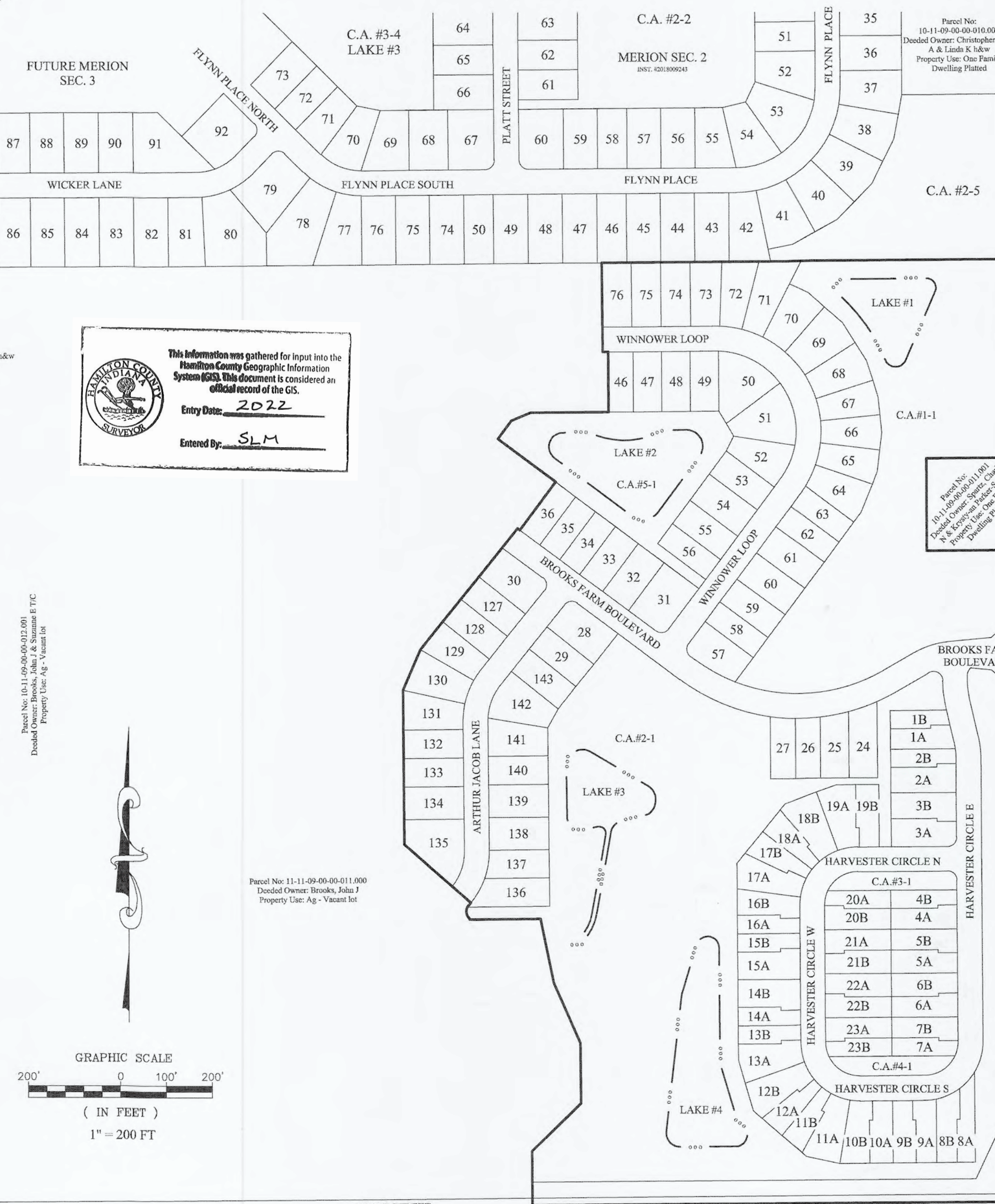
BASED ON THE FEMA BASE FLOOD ELEVATION
FOR THIS AREA, THERE WILL BE NO POTENTIAL
FLOODING OF THIS PROPERTY VIA OVERTALL OR
STORM PIPING SYSTEMS.

SHT.	DESCRIPTION
C001	COVER SHEET
C100-C102	TOPOGRAPHICAL SURVEY
C200-C205	SITE DEVELOPMENT PLAN / EMERGENCY FLOOD ROUTE
C300-C307	EROSION CONTROL PLAN & SPECIFICATIONS
C400-C412	STREET PLAN & PROFILES / TRAFFIC CONTROL PLAN / ENTRANCE PLAN / INTERSECTION DETAILS / ROAD CROSS SECTIONS
C500-C503	SANITARY PLAN & PROFILES
C600-C608	STORM PLAN & PROFILES & SUB-SURFACE DRAIN/SUMP PLAN
C700-C710	WATER PLAN & WATER PROFILES WATER SPECS & DETAILS
C800-C801	CONSTRUCTION DETAILS

SHT.	DESCRIPTION
1	DIRECTIONS FOR USE, & GENERAL NOTES
2	RIGHT-OF-WAY & UTILITY ESMT. GUIDELINES
3	PAVEMENT, CURB & SIDEWALK DETAILS AND NOTES
4	STORM SEWER BEDDING DETAILS AND NOTES
5	STORM SEWER MANHOLES, INLETS, & GENERAL NOTES
6	SANITARY SEWER BEDDING DETAILS AND NOTES
7	SANITARY SEWER DETAILS AND NOTES
8	MISCELLANEOUS DETAIL AND NOTES I
9	SIGN, DRIVEWAY, AND DECORATIVE SIDEWALK DETAILS
10	MISCELLANEOUS DETAILS AND NOTES III
11	STREET CUT DETAILS
12	STREET LIGHTING & TRAFFIC SIGNAL STANDARDS, DETAILS AND NOTES
13	LANDSCAPE PLANTING AND SEEDING DETAILS AND GENERAL NOTES

SHT.	DESCRIPTION
ALL	REVISED PER NOBLESVILLE COMMENTS DCM 07-25-19
ALL	REVISED PER TAC COMMENTS DCM 08-11-19
ALL	REVISED PER NOBLESVILLE COMMENTS DCM 08-27-19
C700,701,C703, C704,C707	REVISED PER L.A.W. COMMENTS DSM 09/25/19
C203,C603A,C609	REVISED PER COUNTY SURVEYOR COMMENTS DSM 10/04/19
C501,C700-C710	ADDED SAN. LATERALS & L.A.W. COMMENTS DCM 10/14/19
C700,C707	REVISED PER L.A.W. COMMENTS DSM 11/6/19
C701,C704	REVISED PER L.A.W. COMMENTS DSM 12/16/19
ALL	REVISED STREET NAMES PER CITY OF NOBLESVILLE DSM 02/11/20
C602	REVISIONS FOR PRECAST CONSTRUCTION DCM 11/18/19
C602,C603	REVISIONS FOR PRECAST CONSTRUCTION DCM 04/24/20
C200,C201,C604,C605	REVISED SWALE PER CLIENT COMMENTS DSM 09/23/20
C700,C707	REVISED WATER PER CLIENT COMMENTS DCM 10/27/20
ALL	AS BUILT DRAWINGS MJE 12/21/20

UTILITY CONTACTS
Cable: Comcast Cable 5330 East 65th Street Indianapolis, Indiana 46220 Ph: (317) 273-6493
Electric: Duke Energy Indiana 100 South Mill Creek Road Noblesville, Indiana 46062 Ph: (317) 776-5327
Fire Dept: MELAND USA 6400 C Street SW P.O. Box 3177 Cedar Rapids, IA 52406 Ph: (317) 697-2863
Gas: Vectren Energy Delivery 16000 Altheimville Road Noblesville, Indiana 46060 Ph: (317) 776-5337
City of Noblesville Water/Water Department 197 West Washington Street Noblesville, Indiana 46060 Ph: (317) 776-6353
City of Noblesville Department of Engineering 16 South 10th Street, Suite 155 Noblesville, Indiana 46060 Ph: (317) 776-6330
Water: Indiana American Water Co. 835 Wayne Street Noblesville, Indiana 46060 Ph: (317) 773-2497
Street: City of Noblesville Department of Engineering 16 South 10th Street, Suite 155 Noblesville, Indiana 46060 Ph: (317) 776-6330



SIZE	LENGTH
5' CONCRETE SIDE WALK	8,150 L.F.
8' ASPHALT PATH	5,348 L.F.

TYPE	LENGTH
Roll Curb	9,822 L.F.
Chairback Curb	119 L.F.

TYPE	NUMBER
City Sd. Decorative	11

REGULARITY SIGNS	
STOP SIGN	5
STREET SIGN	4
SPEED LIMIT SIGN	7
TOTAL	16

STREET INVENTORY (by segments)		
ARTHUR JACOB LANE	0+00 - 7+56.37	756.37
HARVESTER CIRCLE	0+00 - 19+93.69	1993.69
BROOKS FARM BOULEVARD	0+00 - 13+25.00	1325
WINNOWER LOOP	0+00 - 11+49.98	1149.98
TOTAL		5,225.04

EROSION CONTROL	
PERM SEEDING	15,025 Ac.
TEMP SEEDING	20,962 Ac.
EROS BLANKET	7,932 Ac.
TOTAL	43,919 Ac.

DESIGN DATA	
107 LOTS	
51,733 AC.	= 2.07 LOTS/ACRE

ARTHUR JACOB LANE	756.37 L.F.
HARVESTER CIRCLE	1,993.69 L.F.
BROOKS FARM BOULEVARD	1,325.00 L.F.
WINNOWER LOOP	1,149.98 L.F.
TOTAL	5,225.04 L.F.

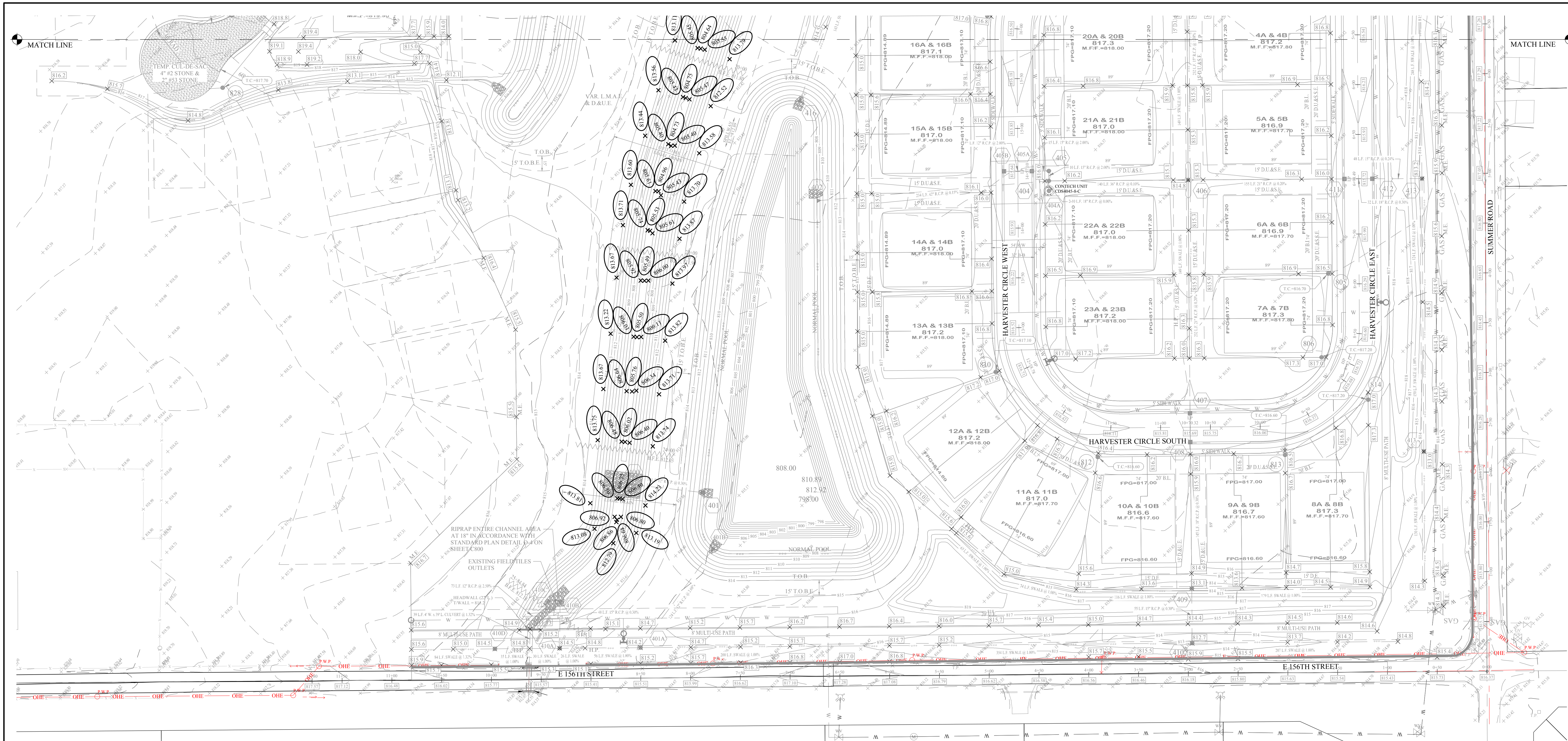
PLANS PREPARED BY:
STOEPPEL WERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7965 E. 106TH STREET, FISHERS, INDIANA 46038
PHONE: (317)-849-9355
FAX: (317)-849-5942
CONTACT PERSON: BRIAN K. ROBINSON
EMAIL: BROBINSON@STOEPPELWERTH.COM

PLANS CERTIFIED BY:
David J. Stoepfelwerth 05/01/19
DAVID J. STOEPPEL WERTH DATE
PROFESSIONAL ENGINEER
NO. 19358



File Name: S175220GBCS1\DWG\C001 - Cover Sheet.dwg - C001
December 21, 2020 11:05:07 AM / Michael Evans
December 21, 2020 11:03:07 AM / Michael Evans

S & A JOB NO. 75220GBCS1



LEGEND

---	EXISTING CONTOUR
- - -	EXISTING SANITARY SEWER
- - -	EXISTING STORM SEWER
---	PROPOSED GRADE
---	PROPOSED CONTOUR
- - -	PROPOSED SANITARY SEWER
- - -	PROPOSED STORM SEWER
---	PROPOSED WATER LINE
---	PROPOSED SWALE
---	PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
25	LOT NUMBER
847.9	PAD ELEVATION
---	PROPOSED 6" UNDERDRAINS UNDER SAG CURB INLETS (SEE SHEET 5 NOBLESVILLE DETAILS NOTE #22)
MFF 790.5	MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE BELOW 1. (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST. 2. 15" (1.25') ABOVE THE ROAD ELEVATION 3. 6" (0.5') ABOVE THE MLAG
FPG 795.5	FLOOD PROTECTION GRADE
M.E.	DENOTES MATCH EXISTING GRADE
H.P.	DENOTES HIGH POINT
L.P.	DENOTES LOW POINT
GRD.CHG.	DENOTES GRADE CHANGE
10-10	BASE FLOOD ELEVATION

LEGEND

25	LOT NUMBER
D.U. & S.E.	DRAINAGE UTILITY & SEWER EASEMENT
D.A.U.E.	DRAINAGE & UTILITY EASEMENT
L.M.A.E.	LANDSCAPE, MAINTENANCE ACCESS EASEMENT
D.E.	DRAINAGE EASEMENT
B.L.	BUILDING SETBACK LINE
R.W.	RIGHT OF WAY
C.A.	COMMON AREA
B.M.P.	BEST MANAGEMENT PRACTICE

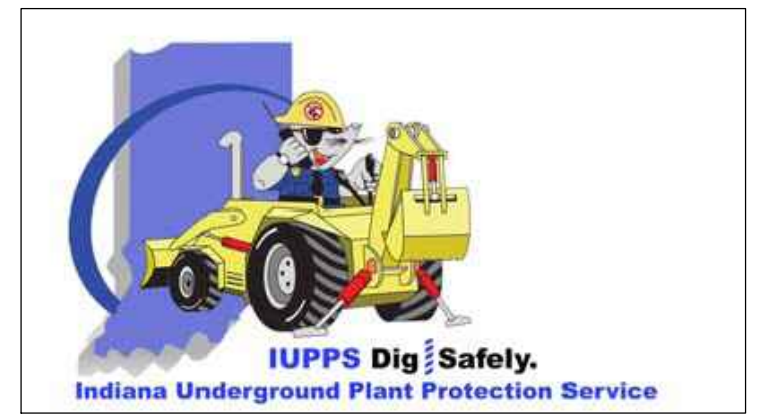
BENCHMARKS:

INDOT HAM 066
ELEV = 774.81

ICBR 150
BRASS DISK SET FLUSH ON THE NORTHEAST CORNER OF BRIDGE
DECK OVER STONY CREEK MARKED "HAMILTON COUNTY
GEODETIC CONTROL".
ELEV = 774.81

TBM#1
RR SPIKE 1' UP SOUTH SIDE OF POWER POLE 150' EAST OF
INTERSECTION OF STONE WOLF AND 166TH STREET ON THE SOUTH
SIDE OF 166TH.
ELEV = 811.80

GRAPHIC SCALE
50' 0' 25' 50'
(IN FEET)
1" = 50 FT



811
Know what's below.
Call before you dig.

RECORD DRAWING

D. D. Olmstead
Dennis D Olmstead
Registered Land Surveyor
No. 900012



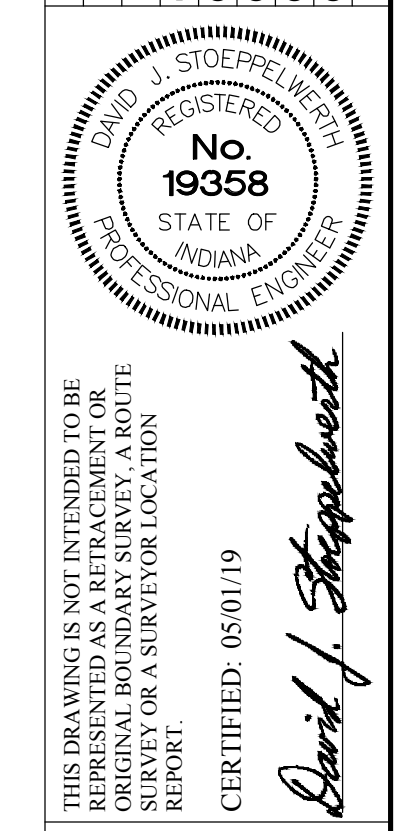
NOTES:

- THIS SUBDIVISION MEETS A.D.A. REQUIREMENTS AND SUBDIVISION CODE STANDARDS.
- ALL PADS SHOULD BE TESTED TO CONFIRM A COMPACTION OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
- LOWEST OPENINGS OF HOMES MUST BE AT LEAST 2 FEET ABOVE THE 100 YEAR POOL ELEVATION OF THE NEAREST POND
- CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- IF EXISTING FIELD TILES ARE ENCOUNTERED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERPETUATE THESE FIELD TILES INTO THE PROPOSED STORM SEWER SYSTEM. CONTRACTOR SHALL COORDINATE THESE CONNECTIONS WITH THE HAMILTON COUNTY'S SURVEYOR'S OFFICE AT 317-776-8495.
- CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB OF THE ROAD PERPENDICULAR TO THE LATERAL MARKER.
- IT IS RECOMMENDED THAT ANY BASEMENT FLOOR IS AT LEAST A FOOT ABOVE THE NORMAL POOL ELEVATION TO AVOID THE OVERUSE OF SUMP PUMPS AND POTENTIAL FREQUENT FLOODING OF BASEMENTS.
- SEE NOBLESVILLE STANDARD DETAILS (SHEET 5) FOR SWALE SPECIFICATIONS.
- SEE NOBLESVILLE STANDARD DETAILS (SHEET 10) FOR LATERAL TO THE REAR YARD SWALE SPECIFICATIONS.
- THE BUILDINGS LOWEST ENTRY ELEVATION THAT IS ADJACENT TO AND FACING A ROAD SHALL BE A MINIMUM OF 15" ABOVE THE ROAD ELEVATION.
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- SEE SHEET C604-C605 FOR SUB SURFACE DRAIN INFORMATION.

EARTHWORK:

- EXCAVATION**
 - Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
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 - All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
- PROTECTION OF TREES**
 - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and which do not impair construction of improvements as designed.
 - In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
- REMOVAL OF TOPSOIL**
 - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
- UTILITIES**
 - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5544 within Indiana or 1-800-428-5200 outside Indiana.
- SITE GRADING**
 - Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.

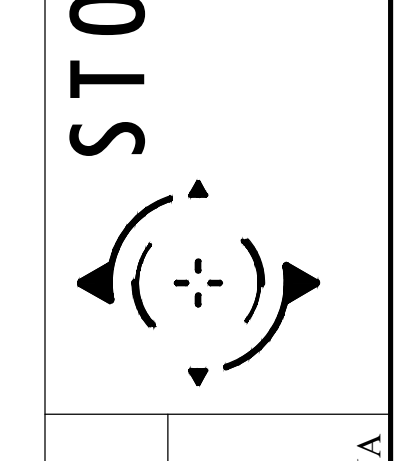
AS BUILT LEGAL DRAIN	07/16/20
REVISED STREET NAMES PER CITY OF NOBLESVILLE	02/11/20
REVISED PER IAC COMMENTS	08/27/19
REVISED PER NOBLESVILLE COMMENTS	08/11/19
REVISED PER NOBLESVILLE COMMENTS	07/25/19
DATE	MARK
BY	REVISIONS



THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACTION OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEY LOCATIONS REPORT.

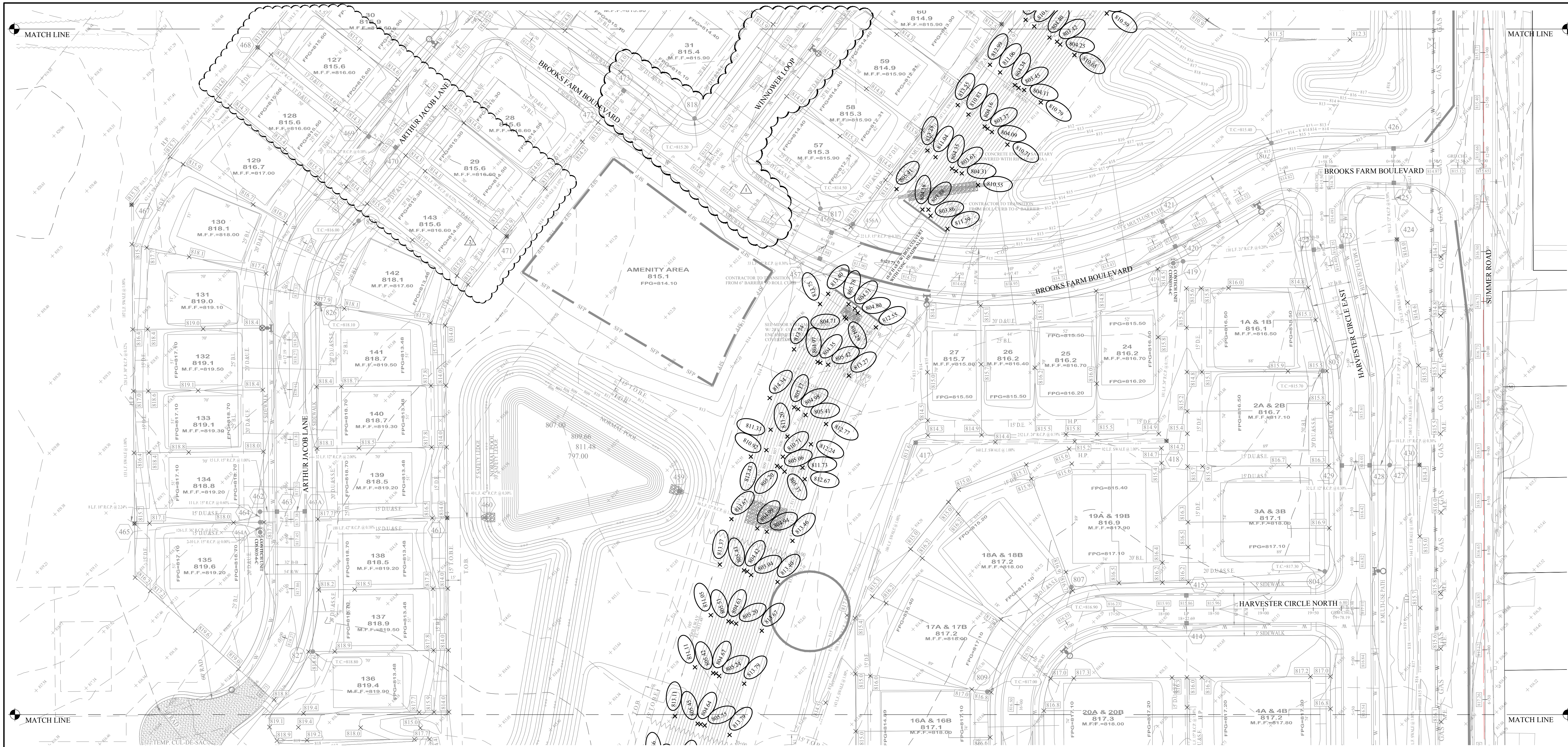
CERTIFIED: 05/01/19
David J. Stoepfel

STOEPPELWERTH
ALWAYS ON
7905 East 10th Street, Fishers, IN 46038-2955
phone: 317.849.5955 fax: 317.849.5942



SITE DEVELOPMENT PLAN
BROOKS FARM
SECTION 1
HAMILTON COUNTY, INDIANA
NOBLESVILLE, NOBLESVILLE TWP.

DRAWN BY:	DCM	CHECKED BY:	BKR
SHEET NO:	C200		
S & A JOB NO:	75220GBC-S1		



LEGEND

	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED GRADE
	PROPOSED CONTOUR
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	PROPOSED SWALE
	PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)

**LOT NUMBER
PAD ELEVATION**

	MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE BELOW 1. (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST. 2. 15" (1.25') ABOVE THE ROAD ELEVATION 3. 6" (0.5') ABOVE THE MLAG
	FLOOD PROTECTION GRADE
	DENOTES MATCH EXISTING GRADE
	DENOTES HIGH POINT
	DENOTES LOW POINT
	DENOTES GRADE CHANGE
	BASE FLOOD ELEVATION

LEGEND

25	LOT NUMBER
D.U.A.S.E.	DRAINAGE UTILITY & SEWER EASEMENT
D.U.E.	DRAINAGE & UTILITY EASEMENT
L.M.A.E.	LANDSCAPE, MAINTENANCE ACCESS EASEMENT
D.E.	DRAINAGE EASEMENT
B.L.	BUILDING SETBACK LINE
R/W	RIGHT OF WAY
C.A.	COMMON AREA
B.M.P.	BEST MANAGEMENT PRACTICE

GRAPHIC SCALE
1" = 50 FT

**ALL STORM DRAIN CASTINGS WILL
REQUIRE A NO DUMPING MESSAGE AS
SPECIFIED ON SHEET 5 OF THE CITY OF
NOBLESVILLE ENGINEERING STANDARDS.**

BENCHMARKS:
INDOT HAM 066
ICBR 150
BRASS DISK SET FLUSH ON THE NORTHEAST CORNER OF BRIDGE
DECK OVER STONY CREEK MARKED "HAMILTON COUNTY
GEODETIC CONTROL". ELEV = 774.81
TBM#1
IR SPIKE 1" UP SOUTH SIDE OF POWER POLE 150' EAST OF
INTERSECTION OF STONE WOLF AND 166TH STREET ON THE SOUTH
SIDE OF 166TH. ELEV = 811.80

RECORD DRAWING

Dennis D. Olmstead
Registered Land Surveyor
No. 900012

- NOTES:**
- THIS SUBDIVISION MEETS A.D.A. REQUIREMENTS AND SUBDIVISION CODE STANDARDS.
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- EARTHWORK:**
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 - In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
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 - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
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811
Know what's below.
Call before you dig.

STOEPPELWERTH
A ALWAYS ON
7905 East 106th Street, Fishers, IN 46038-2955
phone: 317.849.5942

REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA
David J. Stoepfelwirth
CERTIFIED: 05/01/19

REVISIONS FOR PRECAST CONSTRUCTION

NO.	DATE	MARK	REVISIONS
01	07/31/20		REVISIONS FOR PRECAST CONSTRUCTION
02	11/18/19		REVISIONS FOR PRECAST CONSTRUCTION
03	07/16/20		AS BUILT LEGAL DRAIN
04	02/11/20		REVISED PER NOBLESVILLE COMMENTS
05	08/27/19		REVISED PER TAC COMMENTS
06	08/11/19		REVISED PER NOBLESVILLE COMMENTS
07	07/25/19		REVISED PER NOBLESVILLE COMMENTS

DATE 07/31/20
MARK

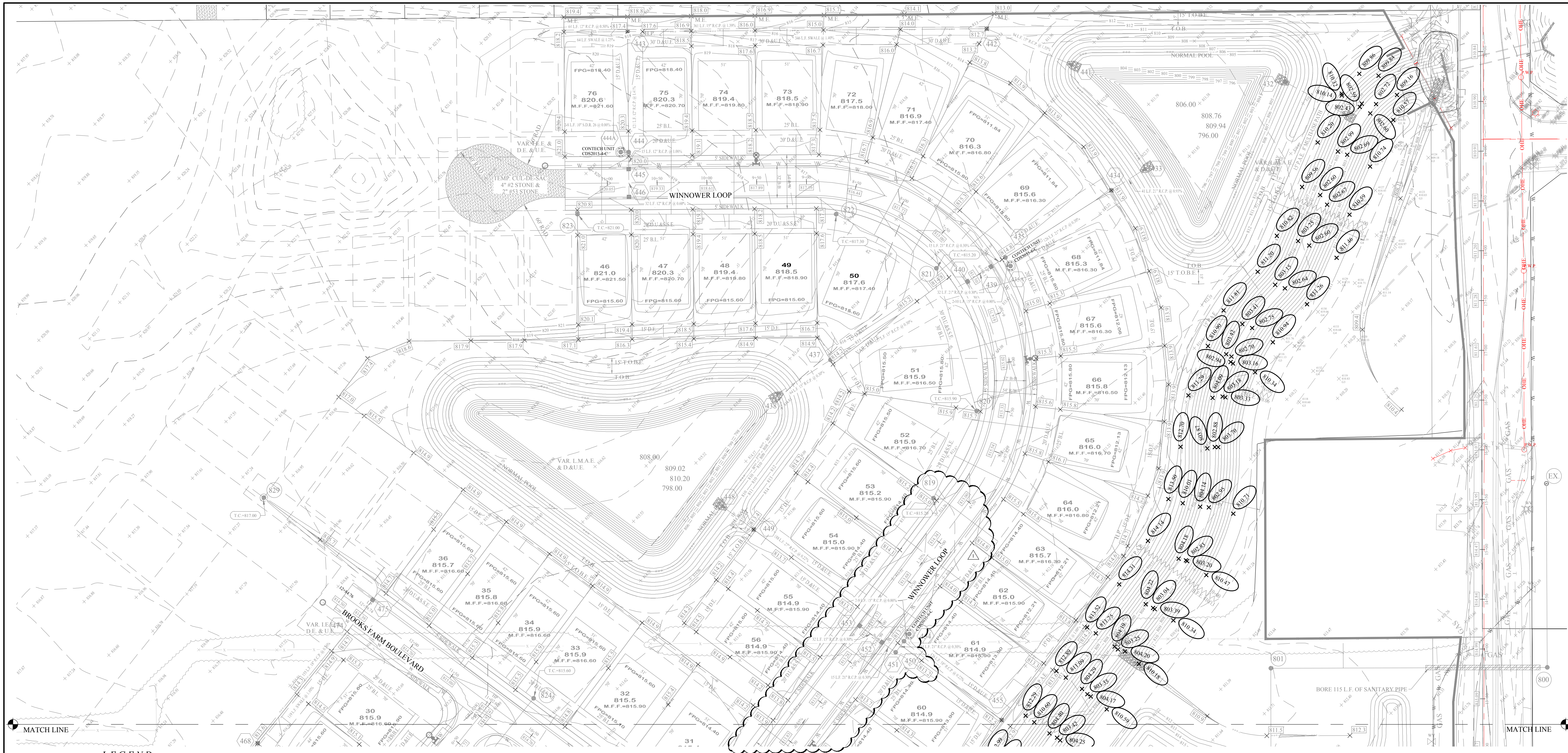
BY

SITE DEVELOPMENT PLAN
BROOKS FARM
SECTION 1
HAMILTON COUNTY, INDIANA
NOBLESVILLE, NOBLESVILLE TWP.

FORM EARTHWRK

DRAWN BY DCM
CHECKED BY BKR

SHEET NO.
C201
S & A JOB NO.
75220GBC-S1



LEGEND

- EXISTING CONTOUR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)

25 847.9 LOT NUMBER PAD ELEVATION

MFF 790.5 MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE BELOW

- (1) FOOT ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.
- 15" (1.25') ABOVE THE ROAD ELEVATION
- 6" (0.5') ABOVE THE MLAG

FPG 795.5 FLOOD PROTECTION GRADE

- M.E. DENOTES MATCH EXISTING GRADE
- H.P. DENOTES HIGH POINT
- L.P. DENOTES LOW POINT
- GRD.CHG. DENOTES GRADE CHANGE
- 10'-00 B.F.E. 800.00 BASE FLOOD ELEVATION

LEGEND

- 25 LOT NUMBER
- D.U.&S.E. DRAINAGE UTILITY & SEWER EASEMENT
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- L.M.A.E. LANDSCAPE MAINTENANCE ACCESS EASEMENT
- D.E. DRAINAGE EASEMENT
- B.L. BUILDING SETBACK LINE
- R.W. RIGHT OF WAY
- C.A. COMMON AREA
- B.M.P. BEST MANAGEMENT PRACTICE

INDOT HAM 066

ICBR 150 BRASS DISK SET FLUSH ON THE NORTHEAST CORNER OF BRIDGE DECK OVER STONY CREEK MARKED "HAMILTON COUNTY GEODETIC CONTROL". ELEV = 774.81

TBM#1 IR SPIKE 1" UP SOUTH SIDE OF POWER POLE 150' EAST OF INTERSECTION OF STONE WOLF AND 166TH STREET ON THE SOUTH SIDE OF 166TH. ELEV = 811.80

GRAPHIC SCALE

50' 0 25' 50'

1" = 50 FT

811

IUPPS Dig Safely.
Indiana Underground Plant Protection Service

RECORD DRAWING

D. D. Olmstead
Dennis D. Olmstead
Registered Land Surveyor
No. 900012

DENNIS D. OLMSTEAD
REGISTERED LAND SURVEYOR
No. 900012
STATE OF INDIANA

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 - B. In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
 - REMOVAL OF TOPSOIL**
 - A. All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
 - UTILITIES**
 - A. Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - B. It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5544 within Indiana or 1-800-428-5200 outside Indiana.
 - SITE GRADING**
 - A. Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - B. The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - C. The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.
- FORM EARTHWRK

STOEPPELWERTH
ALLWAYS ON
7905 East 10th Street, Fishers, IN 46038-2955
phone: 317.849.5935 fax: 317.849.5942

REGISTERED PROFESSIONAL ENGINEER
No. 19358
STATE OF INDIANA
DAVID STOEPPELWERTH
CERTIFIED: 05/01/19
David J. Stoepfelwirth

REVISIONS FOR PRECAST CONSTRUCTION

NO.	DATE	MARK	REVISIONS
1	11/18/19		AS BUILT LEGAL DRAIN
2	07/16/20		REVISED STREET NAMES PER CITY OF NOBLESVILLE
3	02/11/20		REVISED PER NOBLESVILLE COMMENTS
4	08/27/19		REVISED PER IAC COMMENTS
5	08/11/19		REVISED PER NOBLESVILLE COMMENTS
6	07/25/19		REVISED PER NOBLESVILLE COMMENTS

SITE DEVELOPMENT PLAN
BROOKS FARM
SECTION 1
HAMILTON COUNTY, INDIANA
NOBLESVILLE, NOBLESVILLE TWP.

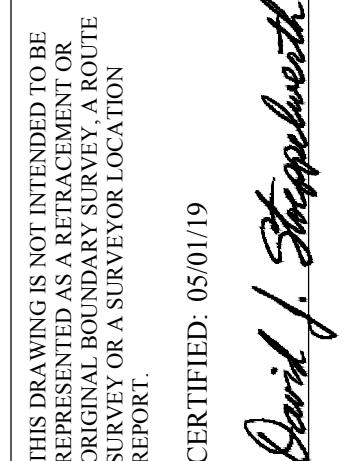
DRAWN BY: DCM
CHECKED BY: BKR
SHEET NO: **C202**
S & A JOB NO: 75220GBC-S1

File Name: S:\75220GBCS\DWG\C200-Site Development Plan.dwg - C202
July 16, 2020 10:18:15 AM / rrmorris
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STRUCTURE TABLE											
STR.#	CALLOUT	STR. TYPE	T.C.	CASTING TYPE	DIAMETER IN	DIR. IN	INV. IN	DIAMETER OUT	DIR. OUT	INV. OUT	SLOPE
400	END SECTION	SEE HCSO DETAIL	.	.	12	E	807.77				
401	CTRL. STRUCT.	INLET, TYPE "E" INDOT	812.89	R-4215-C				12	W	808.00	0.30%
401A	YARD INLET	INLET, TYPE "E" INDOT	814.24	R-4215-C				12	NE	811.32	2.68%
401B	END SECTION	.	.	.	12	SW	808.00				
402	END SECTION	.	.	.	42	E	808.00				
404	DIV. STRUCT.	MH, TYPE "L" 96"	816.00	R-1772	36 15 18	E N S	808.44 808.44 808.44	42 18	W S	808.34 808.34	0.15% 0.00%
404A	CONTECH	CDS4045-8-C-618779-10	816.20	CONTECH LID	18	N	808.34	18	N	808.44	0.00%
405	MANHOLE	MH, TYPE "C" 48"	816.09	R-1772	15	W	810.54	15	S	808.64	2.00%
405A	CURB INLET	INLET, TYPE "B"	815.64	R-3501-TR	12	W	810.94	15	E	810.84	2.00%
405B	CURB INLET	INLET, TYPE "B"	815.64	R-3501-TL				12	E	811.58	2.00%
406	YARD INLET	MH, TYPE "J" 60"	814.82	R-4342	21 21 15	S E N	808.68 808.68 808.58	36	W	808.58	0.10%
407	CURB INLET	INLET, TYPE "B"	815.69	R-3501-TL	18	S	809.25	21	N	809.15	0.20%
408	CURB INLET	INLET, TYPE "B"	815.71	R-3501-TR	18	S	809.45	18	N	809.35	0.30%
409	YARD INLET	INLET, TYPE "E" INDOT	813.10	R-4215-C	15	S	809.98	18	N	809.88	0.30%
410	YARD INLET	INLET, TYPE "E" INDOT	812.70	R-4215-C				15	N	810.15	0.30%
410A	YARD INLET	MH, TYPE "C" 48"	814.54	R-4342				15	N	807.09	0.30%
410B	END SECTION	.	.	.	15	S	806.95				
410C	END SECTION	.	.	.	12	SW	806.95				
410D	YARD INLET	MH, TYPE "C" 48"	814.49	R-4342				12	NE	808.77	2.50%
411	CURB INLET	MH, TYPE "C" 48"	815.72	R-3501-TL	18	E	809.09	21	W	808.99	0.20%
412	CURB INLET	MH, TYPE "C" 48"	815.72	R-3501-TL	15	E	809.29	18	W	809.19	0.30%
413	YARD INLET	INLET, TYPE "E" INDOT	813.24	R-4215-C	15	S	809.50	15	W	809.40	0.24%
413A	YARD INLET	INLET, TYPE "E" INDOT	812.98	R-4215-C				15	N	810.32	0.30%
414	CURB INLET	INLET, TYPE "B"	815.86	R-3501-TR	12	N	811.87	15	S	811.77	1.38%
415	CURB INLET	INLET, TYPE "B"	815.86	R-3501-TL				12	S	811.97	0.30%
416	END SECTION	.	.	.	27	N	808.00				
417	YARD INLET	MH, TYPE "J" 60"	813.56	R-4342	24	E	808.68	27	S	808.58	0.16%
418	YARD INLET	MH, TYPE "C" 48"	814.24	R-4342	24	N	809.25	24	W	809.15	0.19%
419	DIV. STRUCT.	MH, TYPE "L" 96"	814.54	R-1772	21 15 12	E NW W	809.66 809.66 809.66	24 15	S W	809.56 809.56	0.17% 0.00%
419A	CONTECH	CDS3035-6-C-618779-20	814.45	CONTECH LID	15	E	809.56	12	E	809.66	0.00%
420	CURB INLET	INLET, TYPE "B"	814.08	R-3501-TR	12	NW	809.80	15	SE	809.70	0.30%
421	CURB INLET	INLET, TYPE "B"	814.08	R-3501-TL				12	SE	809.90	0.30%
422	CURB INLET	INLET, TYPE "B"	814.35	R-3501-TR	18	E	810.02	21	W	809.92	0.20%
423	CURB INLET	INLET, TYPE "B"	814.35	R-3501-TL	18	E	810.18	18	W	810.08	0.20%
424	MANHOLE	MH, TYPE "C" 48"	814.00	R-4342	15 12	S N	810.44 810.44	18	W	810.34	0.30%
425	CURB INLET	INLET, TYPE "B"	814.55	R-3501-TL	12	N	810.71	12	S	810.61	0.30%
426	CURB INLET	INLET, TYPE "B"	814.55	R-3501-TR				12	S	810.83	0.30%
427	MANHOLE	MH, TYPE "C" 48"	816.83	R-1772	15 12	W E	811.79 811.22	15	N	811.12	0.30%
428	CURB INLET	INLET, TYPE "B"	816.04	R-3501-TR	12	W	811.94	15	E	811.84	0.30%
429	CURB INLET	INLET, TYPE "B"	816.04	R-3501-TL				12	E	812.04	0.30%
430	YARD INLET	INLET, TYPE "E" INDOT	814.28	R-4215-C				12	W	811.31	0.30%
431	END SECTION	SEE HCSO DETAIL	.	.	18	NW	805.78				
432	CTRL. STRUCT.	INLET, TYPE "E" INDOT	809.84	R-4215-C				18	SE	806.00	0.30%
433	END SECTION	.	.	.	21	SW	806.00				
434	MANHOLE	MH, TYPE "C" 48"	813.87	R-1772	21	SW	806.41	21	NE	806.38	0.93%
435	DIV. STRUCT.	MH, TYPE "K" 72"	814.73	R-1772	15 21	SE SW	806.89 806.89	21 15	NE SE	806.79 806.79	0.30% 0.00%
435A	CONTECH	CDS3035-6-C-618779-30	814.89	CONTECH LID	15	NW	806.79	15	NW	806.89	0.00%
437	YARD INLET	MH, TYPE "C" 48"	814.30	R-4342	15	SW	807.81	15	NE	807.71	0.30%
438	END SECTION	SEE DETAIL	809.52	SEE DETAIL				15	NE	808.00	0.30%
439	CURB INLET	MH, TYPE "C" 48"	814.50	R-3501-TR	21	SW	807.04	21	NE	806.94	0.30%

STRUCTURE TABLE											
STR.#	CALLOUT	STR. TYPE	T.C.	CASTING TYPE	DIAMETER IN	DIR. IN	INV. IN	DIAMETER OUT	DIR. OUT	INV. OUT	SLOPE
440	CURB INLET	MH, TYPE "C" 48"	814.50	R-3501-TL	15	SW	807.24	21	NE	807.14	0.30%
441	END SECTION	.	.	.	15	NW	806.00				
442	YARD INLET	MH, TYPE "C" 48"	812.74	R-4342	15	W	808.35	15	SE	807.45	1.55%
443	YARD INLET	MH, TYPE "C" 48"	817.36	R-4342	12 12	S W	813.46 813.96	15	E	813.36	1.39%
444	DIV. STRUCT.	MH, TYPE "J" 60"	820.08	R-1772	12 10" S.D.R. 26	S W	815.27 815.27	12 10" S.D.R. 26	N W	815.17 815.17	1.41% 0.00%
444A	CONTECH	CDS2015-4-C-618779-40	820.19	CONTECH LID	10" S.D.R. 26	E	815.17	10" S.D.R. 26	E	815.27	0.00%
445	CURB INLET	INLET, TYPE "B"	819.74	R-3501-TR	12	S	815.52	12	N	815.42	1.00%
446	CURB INLET	INLET, TYPE "B"	819.74	R-3501-TL				12	N	815.71	0.60%
448	END SECTION	.	.	.	27	SE	808.00				
449	MANHOLE	MH, TYPE "J" 60"	813.44	R-1772	27	SE	808.25	27	NW	808.15	0.37%
450	DIV. STRUCT.	MH, TYPE "K" 72"	813.44	R-1772	18 21 15	SE SW NE	808.76 808.76 808.76	27 15	NW NE	808.66 808.66	0.22% 0.00%
451	MANHOLE	MH, TYPE "C" 48"	813.68	R-1772	21	NW	808.90	21	NE	808.80	0.30%
452	CURB INLET	INLET, TYPE "B"	813.14	R-3501-TL	15	NW	809.04	21	SE	808.95	0.30%
453	CURB INLET	INLET, TYPE "B"	813.14	R-3501-TR				15	SE	809.14	0.30%
454	CONTECH	CDS3035-6-C-618779-50	813.74	CONTECH LID	15	SW	808.66	15	SW	808.76	0.00%
455	YARD INLET	INLET, TYPE "E" INDOT	812.54	R-4215-C	15	SW	809.14	18	NW	809.04	0.22%
456	CURB INLET	INLET, TYPE "B"	813.68	R-3501-TR	15	SW	810.03	15	E	809.93	0.30%
456A	MANHOLE	MH, TYPE "C" 48"	813.94	R-1772	15	W	809.86	15	NE	809.76	0.25%
457	CURB INLET	INLET, TYPE "B"	813.70	R-3501-TL				15	NE	810.13	0.30%
458	END SECTION	SEE HCSO DETAIL	.	.	12	W	805.90				
459	CTRL. STRUCT.	INLET, TYPE "E" INDOT	811.48	R-4215-C				12	E	807.00	1.29%
460	END SECTION	.	.	.	42	W	807.00				
461	MANHOLE	MH, TYPE "K" 72"	814.00	R-1772	42	W	807.22	42	E	807.12	0.30%
462	MANHOLE	MH, TYPE "C" 48"	817.87	R-1772	15	E	809.21	15	S	809.11	0.60%
463	CURB INLET	MH, TYPE "C" 48"	817.39	R-3501-TR	12	E	811.26	15	W	809.36	1.00%
463A	CURB INLET	MH, TYPE "C" 48"	817.39	R-3501-TL				12	W	811.90	2.00%
464	DIV. STRUCT.	MH, TYPE "K" 72"	817.73	R-1772	36 15 15	W S N	807.65 807.65 809.05	42 15	E S	807.55 807.55	0.18% 0.00%
464A	CONTECH	CDS3035-60-C-618779-60	818.01	CONTECH LID	15	N	807.55	15	N	807.65	0.00%
465	YARD INLET	MH, TYPE "K" 72"	815.67	R-4342	30 18	N NW	807.90 807.90	36	E	807.80	0.12%
467	YARD INLET	MH, TYPE "J" 60"	815.13	R-4342	30	NE	808.38	30	S	808.28	0.12%
468	YARD INLET	MH, TYPE "J" 60"	813.63	R-4342	24 18	SE NE	808.72 809.37	30	SW	808.62	0.12%
469	CURB INLET	MH, TYPE "C" 48"	814.02	R-3501-TR	21	SE	809.07	24	NW	808.97	0.18%
470	CURB INLET	MH, TYPE "C" 48"	814.02	R-3501-TL	18	SE	809.23	21	NW	809.13	0.18%
471	YARD INLET	INLET, TYPE "E" INDOT	812.91	R-4215-C	15	NE	809.79	18	NW	809.54	0.22%
472	CURB INLET	INLET, TYPE "B"	813.64	R-3501-TL	12	NE	810.38	15	SW	810.13	0.22%
473	CURB INLET	INLET, TYPE "B"	813.64	R-3501-TR				12	SW	810.48	0.31%
474	CURB INLET	INLET, TYPE "B"	814.39	R-3501-TL	15	NE	810.18	18	SW	809.93	0.36%
475	CURB INLET	INLET, TYPE "B"	814.39	R-3501-TR				15	SW	810.53	1.09%
476	END SECTION	.	.	.	24	SW	807.00				
477	YARD INLET	MH, TYPE "C" 48"	813.10	R-4215-C	24	W	807.30	24	NE	807.20	0.22%
478	YARD INLET	INLET, TYPE "E" INDOT	816.84	R-4215-C				24	E	807.58	0.22%



THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR SURVEYAL BOUNDARY SURVEY, A ROUTE REPORT, OR A SURVEY LOCATION.
 CERTIFIED: 05/01/19
 David J. Stappeler

STOEPPELWERTH
 ALWAYS ON
 795 East 10th Street, Fishers, IN 46038-2955
 phone: 317.849.5955 fax: 317.849.5942

SITE DEVELOPMENT PLAN
BROOKS FARM
SECTION 1
 NOBLESVILLE, NOBLESVILLE TWP., HAMILTON COUNTY, INDIANA

DRAWN BY: DCM
 CHECKED BY: BKR
 SHEET NO: **C203**
 S & A JOB NO: 75220GBC-S1

DATE	MARK	REVISIONS
10/04/19		REVISED PER COUNTY SURVEYOR COMMENTS
11/18/19		REVISIONS FOR PRECAST CONSTRUCTION
02/11/20		REVISED STREET NAMES PER CITY OF NOBLESVILLE
08/27/19		REVISED PER NOBLESVILLE COMMENTS
08/11/19		REVISED PER TAC COMMENTS
07/25/19		REVISED PER NOBLESVILLE COMMENTS